

COSTCO WHOLESALE

2000 HAGGERTY ROAD
LIVONIA, MI 48152



LIVONIA II
391

20000 HAGGERTY RD.
LIVONIA, MI 48152

COSTCO WHOLESALE CORPORATION

999 LAKE DRIVE
ISSAQUAH, WA 98027
T: 425.313.8100
www.costco.com

1101 Second Ave, Ste 100
Seattle, WA 98101
206 962 6500
MG2.com



PERMIT/BID SET

ACCESSIBLE ROUTE AND BIKE PATH CONNECTION UPGRADE

PROJECT GENERAL NOTES

- THESE GENERAL NOTES APPLY TO THE ENTIRE PROJECT AND APPLY TO ALL TRADES. DRAWINGS HAVE BEEN PREPARED ON AN ORIGINAL SHEET SIZE OF 30X42-INCHES.
- WHERE OCCURS, REFER TO THE ENGINEERING CONSULTANT DRAWINGS FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.
- CONDITIONS AND DIMENSIONS SHOWN ON SITE PLANS ARE FROM A SURVEY PREPARED BY OTHERS OR FROM AVAILABLE RECORDS. THE ARCHITECT BEARS NO RESPONSIBILITY FOR THE ACCURACY OF INFORMATION SHOWN. REFER TO CIVIL ENGINEER DRAWINGS FOR ADDITIONAL SCOPE OF WORK. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING INFORMATION SHOWN PRIOR TO STARTING THE WORK.
 - THE CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES.
 - VERIFY ALL INVERT ELEVATIONS AT POINTS OF CONNECTIONS OF NEW WORK PRIOR TO STARTING ANY WORK.
 - EXISTING UTILITIES SHOWN HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE ONLY.
 - IF NECESSARY TO COMPLETE THE WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY ADDITIONAL UTILITY LOCATIONS AND SIZES NOT SHOWN.
- THE CONTRACTOR SHALL TAKE ALL POSSIBLE CARE TO AVOID DAMAGE OR DISTURBANCE TO EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY CONTRACTOR-CAUSED DAMAGE TO THE UTILITIES. SUCH REPAIRS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE AND IN SUCH A MANNER AS TO BE LEAST DISRUPTIVE AS POSSIBLE TO THE OWNER'S OPERATIONS.
- DO NOT SCALE THE DRAWINGS TO OBTAIN DIMENSIONS. WRITTEN DIMENSIONS GOVERN. USE ACTUAL FIELD MEASUREMENTS.
- WHERE OCCURS, DIMENSIONS ARE TO/FROM THE:
 - GRID LINES ADJACENT TO THE EXTERIOR WALL (INTERIOR FACE OF STEM WALL / NOMINAL FACE OF MASONRY).
 - FACE OF CONCRETE OR MASONRY (NOMINAL).
 - ALL HEIGHTS ARE DIMENSIONED FROM THE TOP OF THE SLAB (ALSO NOTED AS FINISHED FLOOR OR INDICATED BY THE "DATUM" SYMBOL) UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS NOTED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THE THICKNESS OF ALL FINISHES INCLUDING CARPETING, TILE, WAINSCOT AND TRIM.
 - ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE LOCATED SO THE EDGE OF THE DOOR OPENING IS 6-INCHES AWAY FROM THE FACE OF ANY ADJOINING INTERSECTING WALL.
 - ALL METAL STUDS ARE 3-5/8" UNLESS NOTED OTHERWISE.
- VERIFY ALL DIMENSIONS OF EXISTING CONDITIONS. NEITHER THE ARCHITECT NOR HIS CONSULTANTS ARE RESPONSIBLE FOR THE ACCURACY OF THESE DIMENSIONS. IF EXISTING CONDITIONS OR DIMENSIONS ARE NOT AS SHOWN, IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT FURNISHED AND/OR INSTALLED BY THE CONTRACTOR, SUBCONTRACTORS, OWNER OR OTHERS.
- WHERE OCCURS, THE CONTRACTOR SHALL CONSULT DRAWINGS OF ALL TRADES FOR OPENINGS THROUGH SLABS, WALLS, CEILINGS AND ROOFS FOR DUCTS, PIPES, CONDUIT, CABINETS, EQUIPMENT, ETC. AND SHALL VERIFY THE SIZES AND LOCATIONS WITH SUBCONTRACTORS.
- IN ROOMS OR SPACES SCHEDULED TO RECEIVE WALL AND/OR CEILING FINISHES, DO NOT RUN EXPOSED CONDUITS, PIPING, ETC. ON WALLS OR CEILINGS.
- ALL WORK IS TO BE PLUMB, LEVEL, TRUE TO LINE, AND STRAIGHT.
- ALL JOINTS ARE TO BE TIGHT, STRAIGHT, EVEN, AND SMOOTH.
- ALL MATERIAL IS NEW UNLESS NOTED OTHERWISE.
- PROVIDE ALL FASTENERS AND CONNECTIONS (WHETHER INDICATED OR NOT) NECESSARY TO ASSEMBLE THE WORK.
- WHERE OCCURS, PROVIDE SOLID BLOCKING/BACKING FOR ALL WALL MOUNTED FIXTURES AND EQUIPMENT INCLUDING, BUT NOT LIMITED TO, SINKS, WALL BRACKETS AND WALL-HUNG ITEMS.
- PREPARE SURFACE AND REMOVE SURFACE FINISHES TO PROVIDE FOR PROPER INSTALLATION ON NEW WORK AND FINISHES. COMPLY WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.
- REPAIR, PATCH, OR REPLACE PORTIONS OF WORK THAT ARE DAMAGED, LIFTED, DISCOLORED, OR SHOWING OTHER IMPERFECTIONS.
- CONSTRUCTION ACTIVITIES SHALL NOT AFFECT THE OWNER'S OPERATIONS. LOUD ACTIVITIES (JACK-HAMMERING, SAW-CUTTING, ETC.) AND ANY WORK REQUIRING INTERRUPTIONS OF UTILITIES (WATER, ELECTRICITY, GAS, FIRE SPRINKLERS/ALARM, SEWER, ETC.) SHALL BE PERFORMED DURING NON-BUSINESS HOURS AS APPROVED BY THE OWNER. ENSURE UNINTERRUPTED SECURITY AND PHONE SYSTEMS OPERATION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY AND SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNS, REFLECTORS, LIGHTS, ETC. TO PROPERLY IDENTIFY AREAS CLOSED TO THE PUBLIC AND FOR PROVIDING SAFETY ALERTS DURING CONSTRUCTION.
- ALL WORK IS TO COMPLY WITH THE APPLICABLE CODES. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSTRUED TO REQUIRE OR PERMIT WORK CONTRARY TO A GOVERNING REGULATION.

PROJECT DATA

| | | | |
|-------------------------|-------------------------------------------------------------------------------------------------------------|-----------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| CLIENT: | COSTCO WHOLESALE 999 LAKE DRIVE ISSAQUAH, WA 98027 | PARKING DATA: | EXIST. PARKING PROVIDED: ○ 10' WIDE STALLS: 655 STALLS ○ ACCESSIBLE STALLS: 22 STALLS TOTAL PARKING: 677 STALLS |
| PROJECT ADDRESS: | 20000 HAGGERTY ROAD LIVONIA MI 48152 | PROPOSED PARKING PROVIDED: | ○ 10' WIDE STALLS: 652 STALLS ○ ACCESSIBLE STALLS: 23 STALLS TOTAL PARKING: 675 STALLS |
| EXISTING ZONING: | C-2 GENERAL BUSINESS | NO. OF STALLS PER 1000 S.F. OF BUILDING AREA: | 4.16 STALLS |
| COSTCO SITE AREA: | 15.07 ACRES (656,545 S.F.) | REQUIRED ACCESSIBLE PARKING | 2% OF STALLS PROVIDED TO BE ACCESSIBLE 02 X 669 = 14 ACCESSIBLE STALLS REQUIRED. 22 ACCESSIBLE STALLS PROVIDED. 1 OUT OF 6 TO BE VAN ACCESSIBLE (4 REQUIRED, 4 PROVIDED) |
| JURISDICTION: | CITY OF LIVONIA | SETBACKS: | EXISTING |
| BOUNDARIES INFORMATION: | THIS PLAN HAS BEEN PREPARED BY USING DRAWINGS PROVIDED BY PROFESSIONAL ENGINEERING ASSOCIATES DATED 1-7-93. | EXIST. BUILDING AREA | 151,774 S.F. |
| BUILDING DATA: EXISTING | | EXIST. ENCLOSED CANOPY | 5,720 S.F. |
| EXIST. BUILDING AREA | 151,774 S.F. | EXIST. TIRE CENTER | 4,728 S.F. |
| EXIST. ENCLOSED CANOPY | 5,720 S.F. | TOTAL EXIST. BUILDING | 162,222 S.F. NO CHANGE |
| EXIST. TIRE CENTER | 4,728 S.F. | NOTES: | EXISTING CONDITIONS TO BE FIELD VERIFIED. |

PROJECT DIRECTORY

| | |
|----------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| OWNER | COSTCO WHOLESALE 999 LAKE DRIVE ISSAQUAH, WA 98027 T: 425.313.8100 |
| ARCHITECT | MG2 CORPORATION 1101 SECOND AVENUE SUITE 100 SEATTLE, WA 98101 T: 206.962.6500 F: 206.962.6499 PROJECT MANAGER: MOON CHOI |
| CIVIL ENGINEER | CIVIL & ENVIRONMENTAL CONSULTANTS, INC. 5899 MONTCLAIR BOULEVARD CINCINNATI, OH 45150 CONTACT: BRYAN BENDER, P.E. T: 513.985.0226 F: 513.985.0228 |

DRAWING INDEX

| | |
|---------------|------------------------------------------------------------------------------------------------------------------------------|
| ARCHITECTURAL | TS101 TITLE SHEET & SITE PLAN G201 SITE DETAILS |
| CIVIL | C000 TITLE SHEET C100 EXISTING CONDITIONS & DEMOLITION PLAN C200 LAYOUT PLAN C300 GRADING PLAN C800 SITE DETAILS |

CODE SUMMARY

APPLICABLE BUILDING CODES:
2015 MICHIGAN BUILDING CODE
2009 ICC ANS1117.1
2022 MICHIGAN ZONING ORDINANCE

TYPE OF CONSTRUCTION: TYPE V-B (SPRINKLERED)
OCCUPANCY CLASSIFICATION: GROUP M

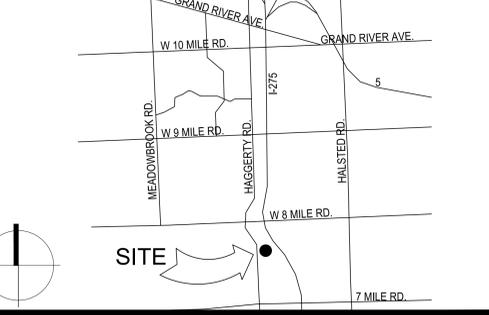
PROJECT DESCRIPTION

ACCESSIBLE ROUTE AND BIKE PATH CONNECTION UPGRADE FOR ADA COMPLIANCE

SCOPE OF WORK

THE WORK CONSISTS OF THE REMOVAL OF EXISTING STRIPING AND THE REMOVAL AND LEVEL OF GROUND SURFACES PER CODE COMPLIANCE. NEW STRIPING, PARKING SYMBOLS, AND THE INSTALLATION OF NEW WHEEL STOPS, SIGN POSTS, AND NEW ACCESSIBLE SIGNS. ALSO, PROVIDING OF NEW BIKE PATH CONNECTION TO MDOT PROPERTY. REMOVAL OF EXISTING FENCE 10' WIDE. INSTALLATION OF NEW BIKE RACK AND MONUMENT DIRECTORY SIGN.

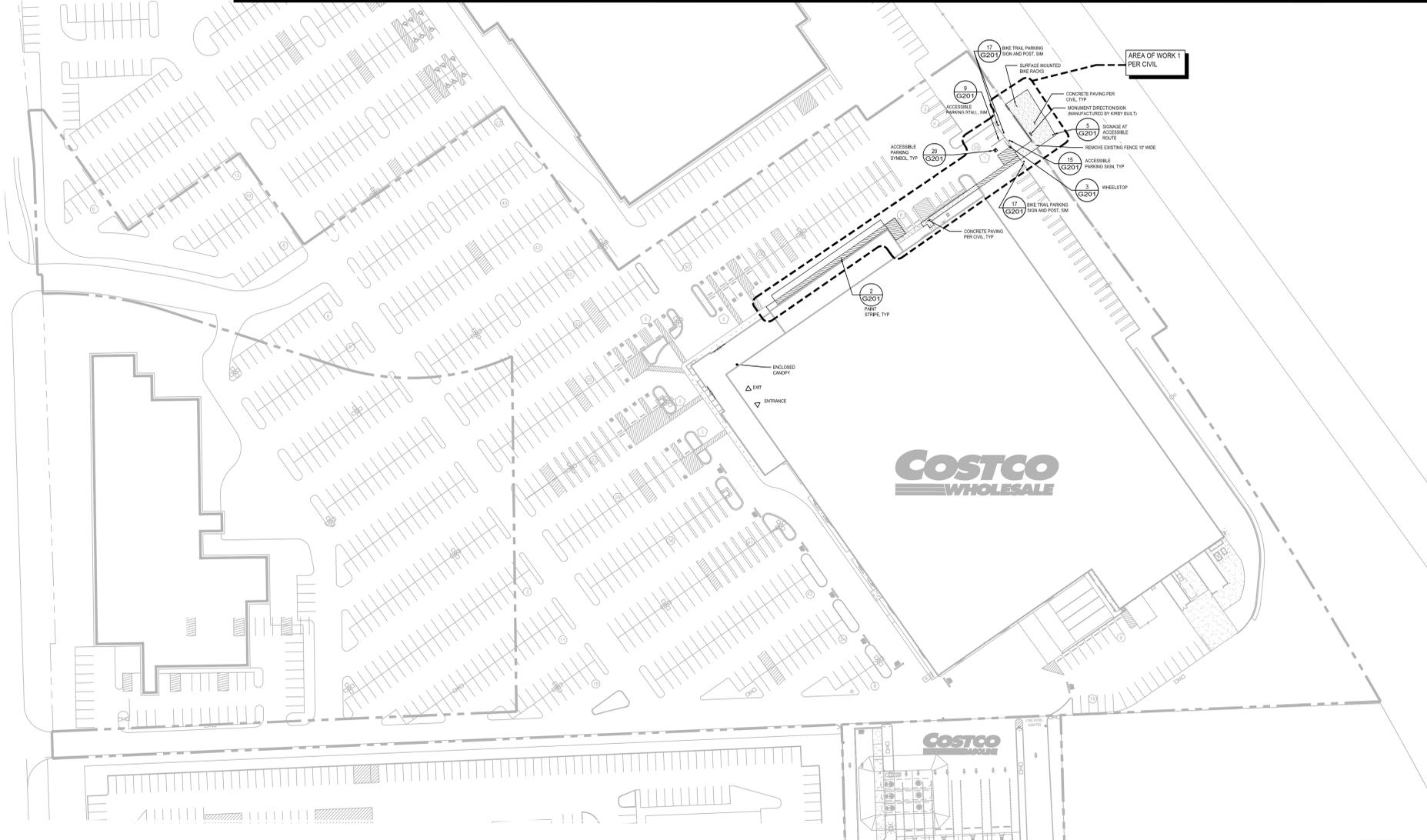
VICINITY MAP



LEGEND

| | |
|---------------------------------------------------|---------|
| EXISTING | --- |
| NEW | --- |
| TRAVEL DISTANCE FROM ACCESSIBLE STALL TO ENTRANCE | ---X--- |

1 SITE PLAN
SCALE: 1" = 60'



PLOTTED BY: MOON CHOI DATE/TIME: 06/20/2023 9:25 AM FILE: H:\BETAIL\COSTCO\96-0430-18 LIVONIA II - ADA SITE UPGRADE\07 CAD\0703 CONSTRUCTION\MDOT-BIKE TRAIL\96043018_1S101.DWG

RUSSELL H. HAZZARD, ARCHITECT



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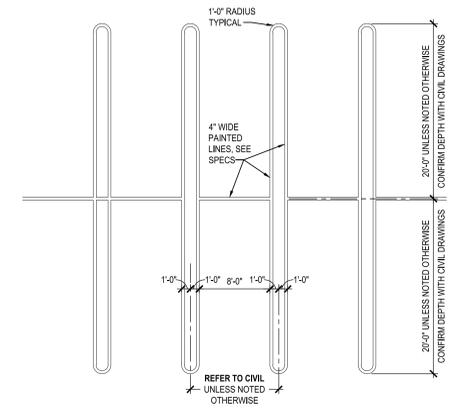
| DATE | DESCRIPTION |
|----------|----------------|
| 07.20.23 | PERMIT/BID SET |

96-0430-18
PM: MOON CHOI
DRAWN: BO, TB

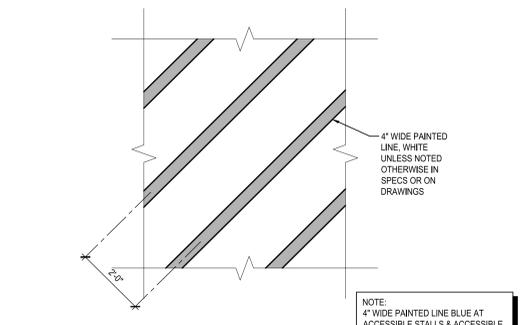
TITLE SHEET & SITE PLAN

TS101

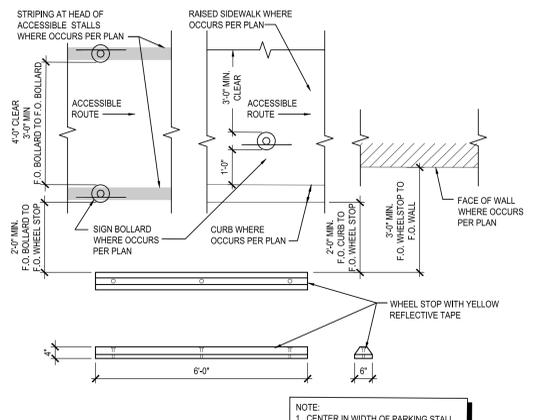
PLOTTED BY: MOON CHOI DATE/TIME: 06/20/23 9:25 AM FILE: HYBETAILCOSTCO06/20/23 18 LIVONIA IL ADA SITE IMPROVEMENT CAD/07/18 CONSDOC/IMPOT-BIKE TRAIL/06/20/23 G201.DWG



1 TYPICAL STANDARD PARKING STALL
SCALE: 1/8" = 1'-0" 0917

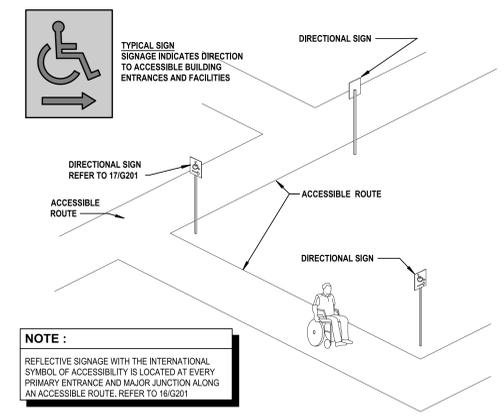


2 PAINTED STRIPE
SCALE: 1/2" = 1'-0" 0515

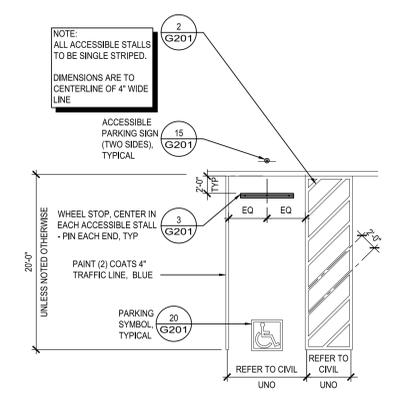


3 WHEEL STOP
SCALE: 1/2" = 1'-0" 0616

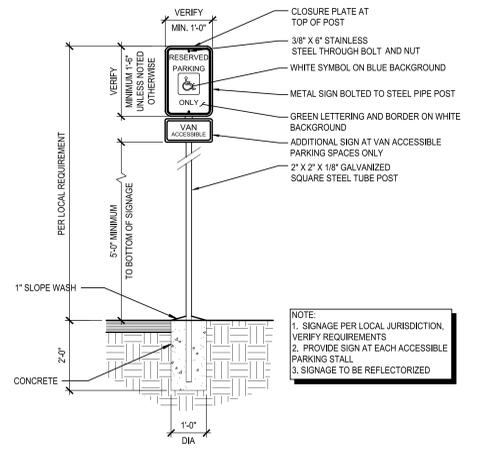
NOTE:
GENERAL CONTRACTOR IS TO CONFIRM THAT ADA PARKING AND ACCESSIBLE PATH PAVEMENT MEETS ADA SLOPE REQUIREMENTS (2% MAX SLOPE) - IF PAVEMENT DOES NOT MEET ADA REQUIREMENTS, GENERAL CONTRACTOR IS TO REMOVE AND REPLACE PAVEMENT TO MEET ADA REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.



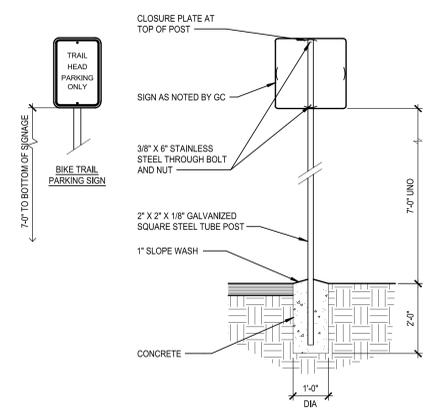
5 SIGNAGE AT ACCESSIBLE ROUTE
SCALE: NOT TO SCALE 0620



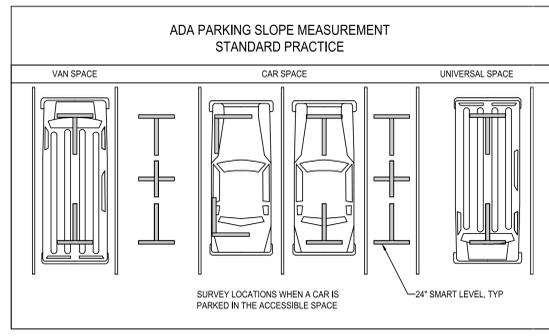
9 ACCESSIBLE PARKING STALLS
SCALE: 1/8" = 1'-0" 1217



15 ACCESSIBLE PARKING SIGN
SCALE: 1/2" = 1'-0" 0720



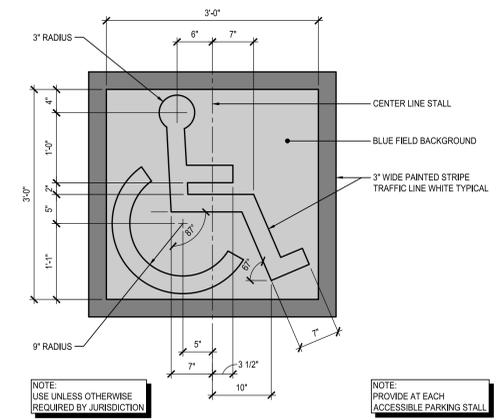
17 SIGNAGE POST
SCALE: 1/2" = 1'-0" 0521



18 SLOPE MEASUREMENT
SCALE: NOT TO SCALE 0120

ACCESSIBILITY GENERAL NOTES:

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE CORRECT INSTALLATION OF ALL ACCESSIBILITY FEATURES ON SHEETS G201, INCLUDING BUT NOT LIMITED TO THE ACCESSIBLE PARKING CROSS SLOPES, LONGITUDINAL SLOPES, SIGNAGE, STRIPING, MOUNTING HEIGHTS, AND ALL REQUIRED CLEARANCES.
- WHERE APPLICABLE PER THE LIMITED SCOPE SITE PROJECT MANUAL, THE CIVIL ENGINEER OF RECORD WILL CONDUCT A SUBSTANTIAL COMPLETION INSPECTION. THE CIVIL ENGINEER OF RECORD WILL ISSUE A PUNCH LIST TO SUBSTANTIATE THAT WORK HAS BEEN CONSTRUCTED PER THE CONTRACT DOCUMENTS AND THE LIMITED SCOPE SITE PROJECT MANUAL. FINAL PAYMENT AND RETAINAGE TO THE GENERAL CONTRACTOR WILL BE RELEASED WHEN ANY OUTSTANDING PUNCH LIST ITEMS ARE COMPLETED.
- ALL WALL OR POST MOUNTED ITEMS IN CIRCULATION PATHS MUST BE LOCATED WITHIN PROTRUSION LIMITS.
- ALL NON-CONFORMING ITEMS WILL BE DOCUMENTED AND SUBMITTED TO THE GC FOR CORRECTIVE ACTION.
- DIMENSIONS THAT ARE NOT STATED AS "MAXIMUM" OR "MINIMUM" ARE ABSOLUTE. ALL DIMENSIONS ARE SUBJECT TO CONVENTIONAL INDUSTRY TOLERANCES EXCEPT WHERE THE REQUIREMENT IS STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS.



20 ACCESSIBLE PARKING SYMBOL
SCALE: 1" = 1'-0" 0514

COSTCO WHOLESALE
LIVONIA II # 391
20000 HAGGERTY RD.
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PERMIT/BID SET

ACCESSIBLE ROUTE AND BIKE PATH CONNECTION UPGRADE

RUSSELL H. HAZZARD, ARCHITECT

STATE OF MICHIGAN
RUSSELL H. HAZZARD
ARCHITECT
No. 1301054691
LICENSED PROFESSIONAL ARCHITECT

07/20/2023

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| DATE | DESCRIPTION |
|----------|----------------|
| 07.20.23 | PERMIT/BID SET |

96-0430-18
PM: MOON CHOI
DRAWN: VL, TB

SITE DETAILS

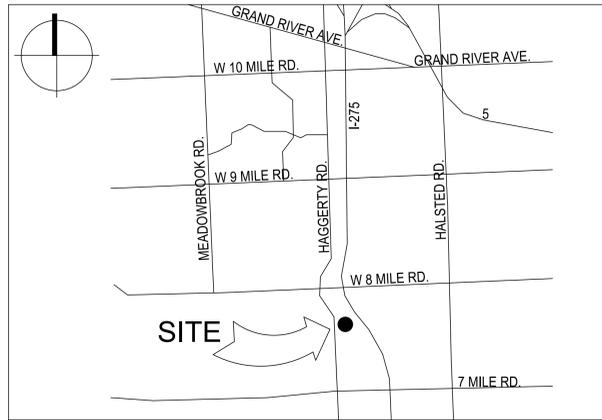
G201

CONSTRUCTION DRAWINGS

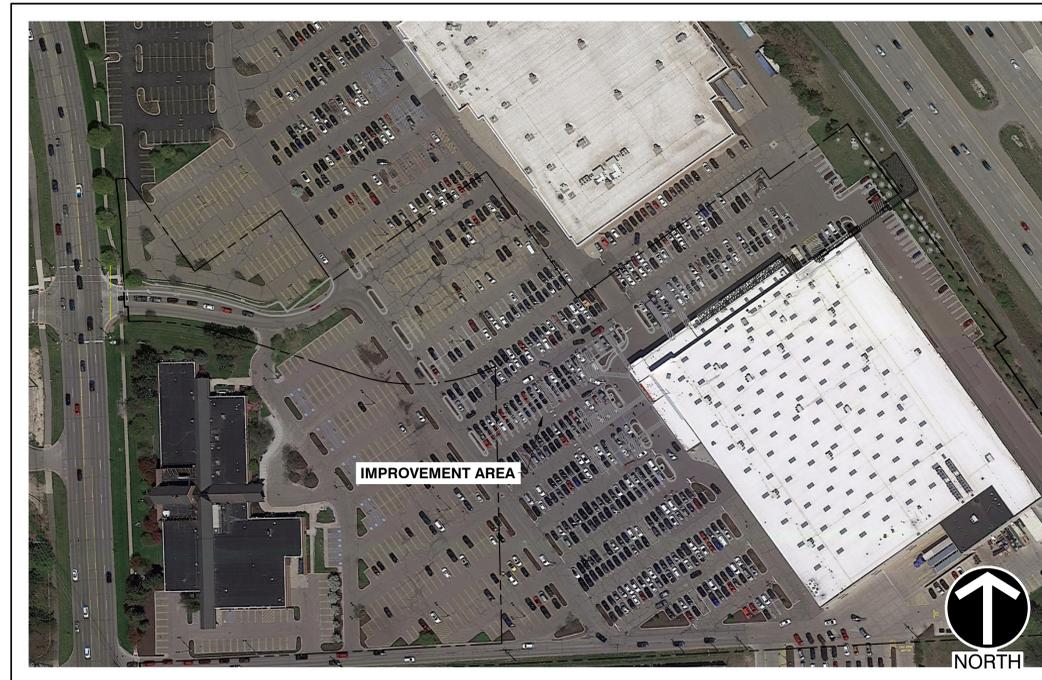
COSTCO WAREHOUSE - ADA ACCESSIBLE ROUTE IMPROVEMENTS

2000 HAGGERTY ROAD LIVONIA, MI 48152

VICINITY MAP



SITE MAP



GENERAL NOTES

- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES (INCLUDING THOSE LABELED PER RECORD DATA) PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS. INFORM ENGINEER OF ANY CONFLICTS DETRIMENTAL TO THE DESIGN INTENT.
- 48 HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: THE MICHIGAN UTILITY NOTIFICATION CENTER (MISS DIG), AND ALL OTHER AGENCIES THAT MAY HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NON-MEMBERS OF MICHIGAN UTILITY PROTECTION SERVICES.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND OWNER'S REPRESENTATIVE FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL APPLICABLE PERMITS, AND PAY ALL REQUIRED FEES PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL, PRACTICES REQUIRED BY THE CITY OF LIVONIA AND THE MICHIGAN DEPARTMENT OF EQL.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED OR LANDSCAPED AS SOON AS PRACTICAL.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
- THE CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- ADJUST/RECONSTRUCT ALL EXISTING CASTINGS, CLEANOUTS, ETC. WITHIN PROJECT AREA TO GRADE AS REQUIRED.
- CONTRACTOR TO REMOVE & REPLACE PAVEMENT AS SPECIFIED.
- PARKING STRIPES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR STANDARD PARKING DIMENSIONS AND SITE SIGNAGE.

GENERAL WORK SCOPE NOTES AND SPECIFICATIONS:

- ALL WORK SHALL COMPLY WITH APPLICABLE CODES, REGULATIONS AND OTHER STANDARDS IMPOSED BY LOCAL UTILITIES, CITY OF LIVONIA, WAYNE COUNTY AND/OR STATE OF MICHIGAN.
- THE LIMITS OF REPAIR/REMEDATION ARE APPROXIMATE AS SHOWN ON SHEETS C100 THROUGH C300. ADDITIONAL REPAIRS MAY BE DETERMINED IN THE FIELD BY THE OWNER/ENGINEER BASED ON EXISTING SITE CONDITIONS AND OBSERVATIONS DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND CONFIRM THE EXISTING SITE CONDITIONS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY AND ADEQUATE SAFETY PRECAUTIONS SUCH AS SIGNS, FLAGS, LIGHT BARRICADES AND FLAGMEN AS REQUIRED BY THE LOCAL AUTHORITIES AND IN ACCORDANCE WITH MDT STANDARDS FOR TRAFFIC CONTROL DEVICES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY CLAIMS FOR DAMAGE DONE TO EXISTING PRIVATE PROPERTY, PUBLIC UTILITIES OR TO THE TRAVELING PUBLIC.
- EXISTING ABOVE AND BELOW GROUND UTILITIES ARE NOT SHOWN HEREIN. THE CONTRACTOR SHALL CONTACT ALL AGENCIES WITH UTILITY FACILITIES IN THE VICINITY OF THE WORK AREA AND SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY WORK.
- THE CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTORS SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE UTILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES, INLETS, CURB BOXES, ETC. AS REQUIRED TO MATCH FINISH PAVEMENT GRADES.
- CONTRACTOR SHALL PROVIDE DETAILED SUBMITTALS OF ALL MATERIALS PLANNED FOR USE AT THE SITE TO THE OWNER/ENGINEER FOR APPROVAL A MINIMUM OF TWO WEEKS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE ACROSS THE ENTIRE PAVEMENT SURFACE AND SHALL ALTER FINAL SURFACE GRADES AS NEEDED TO PROMOTE POSITIVE DRAINAGE TOWARDS EXISTING CATCH BASINS WITHOUT THE OCCURRENCE OF PONDING.
- CONTRACTOR SHALL PROVIDE A WORK PLAN FOR REVIEW AND APPROVAL OF THE OWNER INCLUDING BUT NOT LIMITED TO STAGING, SCHEDULE, SAFETY, MAINTENANCE OF TRAFFIC AND STORAGE.
- THE CONTRACTOR SHALL NOT STORE MATERIALS, EXCESS DIRT OR EQUIPMENT IN THE RIGHT OF WAY OF ANY PUBLIC ROADWAYS AND/OR THE DRIVE AISLES OF THE SUBJECT PARKING LOT, UNLESS PRIOR COORDINATION AND APPROVAL IS OBTAINED BY THE OWNER. UPON COMPLETION OF WORK, ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE.
- CONTRACTOR SHALL REPAIR AND REPLACE IN-KIND ANY DAMAGE THAT OCCURS AS A RESULT OF WORK.
- CONTRACTOR SHALL TAKE NECESSARY MEASURES TO SEPARATE WORK AREAS FROM PEDESTRIAN TRAFFIC AND ENSURE SAFE PEDESTRIAN PASSAGE AT ALL TIMES.

| Sheet List Table | |
|------------------|---------------------------------------|
| Sheet Number | Sheet Title |
| C000 | TITLE SHEET |
| C100 | EXISTING CONDITIONS & DEMOLITION PLAN |
| C200 | LAYOUT PLAN |
| C300 | GRADING PLAN |
| C800 | SITE DETAILS |

OWNER

COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WASHINGTON 98027
CONTACT: ED NAVARRO
(425) 313-8100
(425) 313-6770 (fax)

ENGINEER

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
5899 MONTCLAIR BOULEVARD
CINCINNATI, OH 45150
CONTACT: JOHN IMBUS, P.E.
(513) 985-0226
(513) 985-0228 (fax)

ARCHITECT

MG2 CORPORATION
1101 SECOND AVENUE, SUITE 100
SEATTLE, WASHINGTON 98101
CONTACT: MOON CHOI
(206) 962-6500

NOTE: PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, AND SANITARY SEWER. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.



REVISION RECORD

| NO. | DATE | DESCRIPTION |
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CEE
Civil & Environmental Consultants, Inc.
5899 Montclair Blvd. - Cincinnati, OH 45150
513-985-0226 - 800-769-5614
www.ceecinc.com

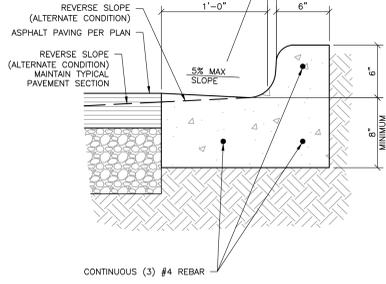
COSTCO WHOLESALE
2000 Haggerty Rd, Livonia, MI

COVER SHEET
DATE: JUNE 2023
DRAWN BY: JPK
AS SHOWN
CHECKED BY: BMB
PROJECT NO.: 304-561
APPROVED BY: MAM (SIGNATURE ON FILE)

DRAWING NO.: **C000**
SHEET 1 OF 5

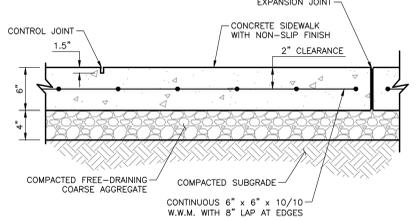
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NOTE: WHERE CURB AND GUTTER CROSSES ACCESSIBLE WALKWAYS OR CROSSWALKS, THE GUTTER PAN SLOPE SHALL BE MODIFIED TO 2% MAX



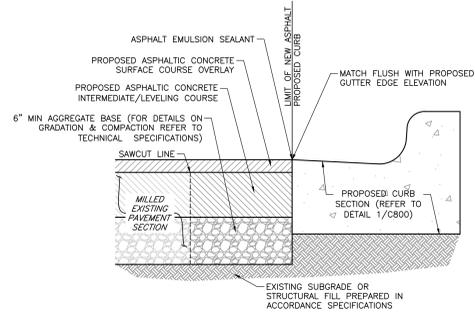
01 CONCRETE CURB & GUTTER
C800 NOT TO SCALE

NOTE: ALL REINFORCING STEEL SHALL BE EPOXY COATED.



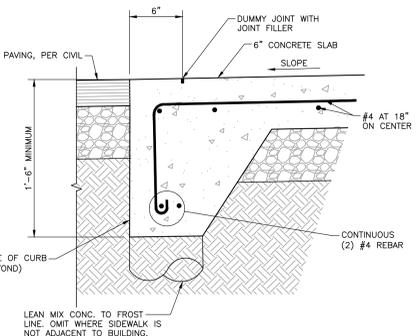
NOTES:
1. PROVIDE 1/2" EXPANSION JOINT FILLER WITH SEALANT WHERE THE CONCRETE SIDEWALK ABUTS THE BUILDING.
2. REFER TO THE ARCHITECTURAL SPECIFICATIONS FOR SPECIAL FINISHES, AGGREGATE TREATMENT, COLORS, PATTERN FINISHES, ETC.
3. THIS DETAIL IS FOR PROPOSED ON-SITE (PRIVATE) SIDEWALKS.

02 TYPICAL CONCRETE SIDEWALK
C800 NOT TO SCALE



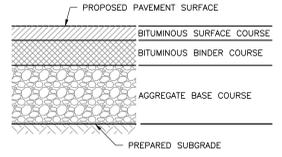
DETAIL NOTES:
1. PROVIDE TACK COAT ALONG SAWCUT TO BIND EXISTING PAVEMENT TO NEW PAVEMENT.

03 NEW PAVEMENT AT PROPOSED CURB DETAIL
C800 NOT TO SCALE



04 FLUSH CURB AT PAVEMENT
C800 NOT TO SCALE

NOTE: ALL REINFORCING STEEL SHALL BE EPOXY COATED.

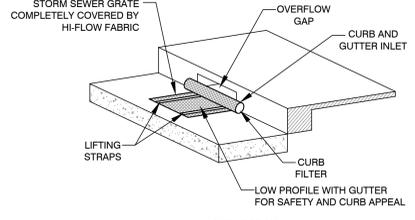


| ITEM | MATERIAL REFERENCE | HEAVY DUTY PAVEMENT SECTION DEPTH | LIGHT DUTY PAVEMENT SECTION DEPTH |
|---------------------------|------------------------------|-----------------------------------|-----------------------------------|
| BITUMINOUS SURFACE COURSE | SEE TECHNICAL SPECIFICATIONS | MATCH EXISTING | MATCH EXISTING |
| BITUMINOUS BINDER COURSE | SEE TECHNICAL SPECIFICATIONS | MATCH EXISTING | MATCH EXISTING |
| AGGREGATE BASE COURSE | SEE TECHNICAL SPECIFICATIONS | MATCH EXISTING | MATCH EXISTING |

NOTES:

- THE PAVEMENT SUBGRADE SHALL BE PREPARED AS FOLLOWS:
 - APPROVED FILL FOR THE SUBGRADE SHALL BE PLACED WHERE REQUIRED IN MAXIMUM 10" THICK, LOOSE LIFTS AND COMPACTED TO AT LEAST 95% OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY PER ASTM D-1557.
 - THE SUBGRADE SHALL BE PROOFROLLED WITH A MINIMUM 10 TON ROLLER. ANY SOFT AND YIELDING AREAS SHALL BE OVEREXCAVATED TO A FIRM AND COMPETENT MATERIAL AND BACKFILLED AS DESCRIBED ABOVE.
 - AFTER PROOFROLLING, THE SUBGRADE SHALL BE GRADED AND SHAPED AS REQUIRED TO CONSTRUCT THE PAVEMENT AREAS IN CONFORMANCE WITH THE GRADES, LINES AND THICKNESSES SHOWN ON THE DRAWINGS. THE SUBGRADE SHALL PROVIDE A FIRM AND UNYIELDING FOUNDATION WITH NO SUDDEN, SHARP OR ABRUPT CHANGES OR BREAKS IN GRADES. NO STANDING WATER OR EXCESS MOISTURE SHALL BE PRESENT. ALL SOFT AND YIELDING AREAS SHALL BE OVEREXCAVATED TO A FIRM AND COMPETENT MATERIAL AND BACKFILLED AS DESCRIBED IN SPECIFICATIONS.
- PLACE & COMPACT AGGREGATE BASE COURSE IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS.
- THE BITUMINOUS COURSES SHALL BE COMPACTED TO MINIMUM DENSITY ACCORDING TO ASTM D 2041, AS INDICATED IN TECHNICAL SPECIFICATIONS. STATE DEPARTMENT OF TRANSPORTATION PAVEMENT DESIGN MIXES ARE TO BE MODIFIED TO PROVIDE THE BITUMINOUS COURSE CHARACTERISTICS INDICATED IN THE TECHNICAL SPECIFICATIONS.
- STABILIZE GROUND WHEREVER THE EXPOSED SUBGRADE SHOWS SIGNS OF MINOR RUTTING OR DEFLECTION IN ACCORDANCE WITH RECOMMENDATION OF THE GEOTECHNICAL ENGINEER.
- TYPICAL BUTT JOINT AT PAVEMENT RESTORATION LOCATIONS, WHERE APPLICABLE, APPLY BITUMINOUS TACK COAT TO EX. VERTICAL PAVEMENT SAWCUT FACES PRIOR TO ASPHALT RESTORATION PAVING. APPLY 4" W. BITUMINOUS SEALANT AT SURFACE JOINT.
- BITUMINOUS BINDER COURSE SHALL MEET THE SAME TECHNICAL SPECIFICATION AS THE BITUMINOUS SURFACE COURSE.

05 ASPHALT PAVEMENT SECTION
C800 NOT TO SCALE

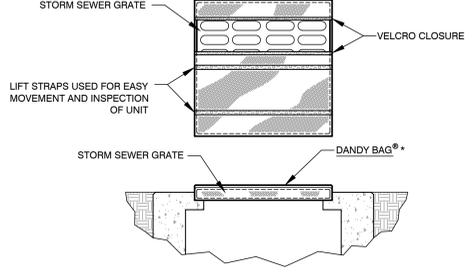


NOTE: THE DANDY CURB BAG[®] WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOPLAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

| Mechanical Properties | Test Method | Units | MARY |
|-------------------------|-------------|-----------------------------------------|-------------------------|
| Grab Tensile Strength | ASTM D 4832 | LN (lbs) | 1.62 (365) X 0.89 (200) |
| Grab Elongation | ASTM D 4832 | % | 4.2 X 10 |
| Puncture Strength | ASTM D 4832 | LN (lbs) | 0.49 (100) |
| Mullen Burst Strength | ASTM D 3766 | SF (psi) | 3927 (420) |
| Torsional Tear Strength | ASTM D 4832 | LN (lbs) | 0.51 (113) X 0.33 (75) |
| UV Resistance | ASTM D 4355 | % | 80 |
| Apparent Opening Size | ASTM D 4491 | Min. (U.S. Sieve) | 0.425 (100) |
| Flow Rate | ASTM D 4491 | 1/min/m² (gpm/m²) | 390 (145) |
| Permeability | ASTM D 4491 | sec | 2.1 |

Note: All Dandy Curb Bags[®] can be ordered with our optional oil absorbents

06 CURB INLET PROTECTION
C800 NOT TO SCALE



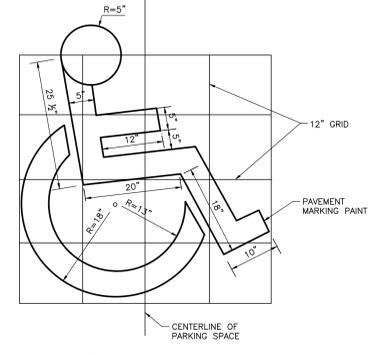
NOTE: THE DANDY BAG[®] WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOPLAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

| Mechanical Properties | Test Method | Units | MARY |
|-------------------------|-------------|-----------------------------------------|-------------------------|
| Grab Tensile Strength | ASTM D 4832 | LN (lbs) | 1.62 (365) X 0.89 (200) |
| Grab Elongation | ASTM D 4832 | % | 24 X 10 |
| Puncture Strength | ASTM D 4832 | LN (lbs) | 0.49 (100) |
| Mullen Burst Strength | ASTM D 3766 | SF (psi) | 3927 (420) |
| Torsional Tear Strength | ASTM D 4832 | LN (lbs) | 0.51 (113) X 0.33 (75) |
| UV Resistance | ASTM D 4355 | % | 80 |
| Apparent Opening Size | ASTM D 4491 | Min. (U.S. Sieve) | 0.425 (100) |
| Flow Rate | ASTM D 4491 | 1/min/m² (gpm/m²) | 390 (145) |
| Permeability | ASTM D 4491 | sec | 2.1 |

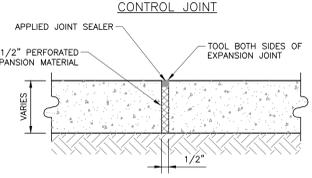
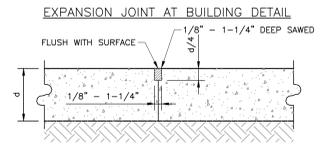
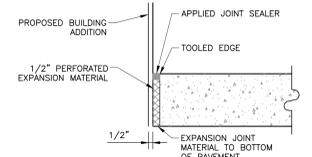
Note: All Dandy Bags[®] can be ordered with our optional oil absorbent pillows

07 DANDYBAG[®]
C800 NOT TO SCALE

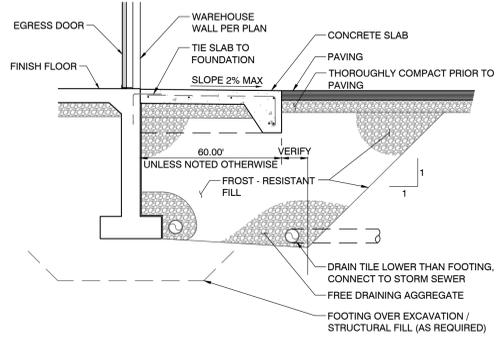
OR APPROVED EQUAL



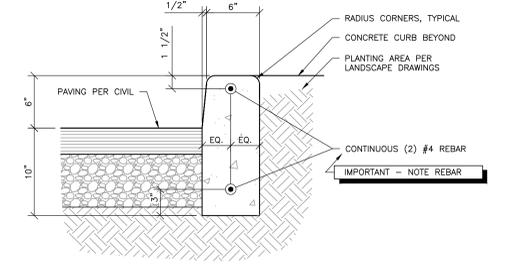
08 ADA SYMBOL
C800 NOT TO SCALE



09 CONCRETE JOINT
C800 NOT TO SCALE



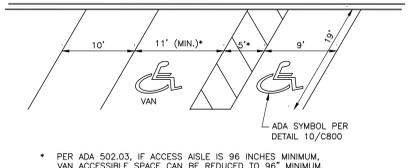
10 CONCRETE WALK/APRON ADJACENT TO BUILDING
C800 NOT TO SCALE



NOTE: 1/2" PRE-MOULDED JOINT FILLER AT 25' ON CENTER (MAXIMUM) AND AT START AND FINISH OF ALL CURVED SECTIONS

11 CAST-IN-PLACE CONCRETE CURB
C800 NOT TO SCALE

NOTE: ALL REINFORCING STEEL SHALL BE EPOXY COATED.



12 ADA PARKING AREA
C800

SCALE: NTS
* PER ADA 502.03, IF ACCESS AISLE IS 96 INCHES MINIMUM, VAN ACCESSIBLE SPACE CAN BE REDUCED TO 96" MINIMUM.

NOTE: PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO GAS, WATER, AND SANITARY SEWER. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.



| NO. | DATE | DESCRIPTION |
|-----|------|-------------------|
| 1 | | ISSUED FOR PERMIT |

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513-985-0226 - 800-769-5614
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COSTCO WHOLESALE
20000 Haggerty Rd, Livonia, MI

| SITE DETAILS | |
|--------------|-------------------------|
| DATE: | JUNE 2023 |
| DRAWN BY: | AS SHOWN |
| CHECKED BY: | |
| DATE: | |
| DRAWN BY: | JRK |
| CHECKED BY: | BMB |
| PROJECT NO.: | 301-561 |
| APPROVED BY: | MAM (SIGNATURE ON FILE) |
| DRAWING NO.: | C800 |
| SHEET: | 5 OF 5 |

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